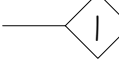
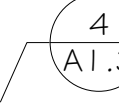




Vicinity Plan

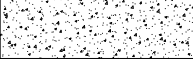
Symbols Legend


 PARTITION TYPE


 PLAN DETAIL


 SECTION DETAIL / ELEVATION DETAIL

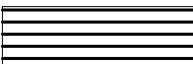
 CRUSHED STONE


 CONCRETE


 8" NEW MASONRY

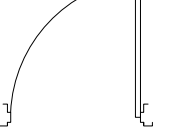
 4" BRICK VENEER /

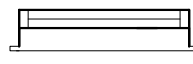
 EXISTING STRUCTURE


 SIDING / FLOOR JOIST

 WINDOW TAG NO.

 DOOR TAG NO.

 DOOR OPENING

 WINDOW OPENING

 FACE OF ABOVE / BELOW

DUCHE FAMILY
GARAGE ADDITION
1313 WEST VIRGINIA AVENUE NE
WASHINGTON D.C.
SQUARE 4064/ LOT 0081

Abbreviations & Symbols

General Construction Notes

Drawing Index

AFF	ABOVE FINISH FLOOR	HDWR	HARDWARE	QT	QUARRY TILE
ACT	ACOUSTIC CEILING TILE	HDWD	HARDWOOD	RAD	RADIUS
ALUM	ALUMINUM	HT	HEIGHT	RETNG	RETAINING
AB	ANCHOR BOLT	HP	HIGH POINT	REINF	REINFORCING
APPROX	APPROXIMATE	HM	HOLLOW METAL	REF	REFRIGERATOR
AD	AREA DRAIN	HR	HOUR	REQ'D	REQUIRED
@	AT			REV	REVISION
BYND	BEYOND	ID	INSIDE DIAMETER	RD	ROOF DRAIN
BF	BACK FILL	IN	INCH(ES)	RM	ROOM
BLK	BLOCK OR BLOCKING	INSUL	INSULATION	RO	ROUGH OPENING
BD	BOARD	INT	INTERIOR	SECT	SECTION
BO	BOTTOM OF	INV	INVERT	SERV	SERVICE
BOT	BOTTOM			SHTNGS	HEATHING
BRK	BRICK	JC	JANITOR'S CLOSET	SIM	SIMILAR
BLDG	BUILDING	JT	JOINT	SB	SINK BASE
BUR	BUILT UP ROOFING	KP	KICK PLATE	SD	SOAP DISPENSER
		KIT	KITCHEN	SPECS	SPECIFICATIONS
CPT	CARPET			SF-INS	SPRAY FIREPROOF-INSUL.
CLG	CEILING	LAM	LAMINATE	SQ	SQUARE
CEM	CEMENT	LAV	LAVATORY	SF	SQUARE FEET
CC	CENTER TO CENTER	LB	POUNDS	SQFT	SQUARE FEET
CT	CERAMIC TILE	LP	LOW POINT	SS	STAINLESS STEEL
CL	CLOSET			STGRD	STAGGERED
COL	COLUMN	MACH	MACHINE	STD	STANDARD
COMP	COMPOSITE	MH	MANHOLE	STL	STEEL
CMP	COMPACTED	MO	MASONRY OPENING	STRUCT	STRUCTURAL
CONC	CONCRETE	MAT'L	MATERIAL	SUSP	SUSPENDED
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM		
CONST	CONSTRUCTION	MECH	MECHANICAL	TEL	TELEPHONE
CONT	CONTINUOUS	MEMB	MEMBRANE	TG	TEMPERED GLASS
CJ	CONTROL JOINT	MTL	METAL	TERR	TERRAZZO
CONV	CONVENTIONAL	MFD	METAL FLOOR DECK	TH	THICKNESS
CG	CORNER GUARD	MRD	METAL ROOF DECK	TOC	TOP OF CURB
CU	CUBIC	MIN	MINIMUM	TOSL	TOP OF SLAB
		MIR	MIRROR	TOS	TOP OF STEEL
DET	DETAIL	MISC	MISCELLANEOUS	T	TREAD
DIAM	DIAMETER	MLDG	MOULDING	TO	TOP OF
DIM	DIMENSION	MTG	MOUNTING	TBD	TO BE DETRMINED
DN	DOWN	MTD	MOUNTED	TYP	TYPICAL
DR	DRAIN			UL	UNDERWRITER'S LABORATORY
DWG	DRAWING	NAT	NATURAL	UNF	UNFINISHED
		NOM	NOMINAL	UR	URINAL
EA	EACH	N	NORTH	UTIL	UTILITY
ELEC	ELECTRIC	NIC	NOT IN CONTRACT	UTLS	UTILITY SHELF
EL	ELEVATION	NTS	NOT TO SCALE	UON	UNLESS OTHERWISE NOTED
ELEV	ELEVATOR	NO	NUMBER	UNO	UNLESS NOTED OTHERWISE
EP	ELECTRICAL PANEL	OFF	OFFICE		
EQ	EQUAL	OC	ON CENTER	VB	VANITY BASE
EQUIP	EQUIPMENT	OCC	OCCUPANT(S)	VERT	VERTICAL
EXH	EXHAUST	OPNG	OPENING	VEST	VESTIBULE
EXIST	EXISTING	OPP	OPPOSITE	V	VINYL
EXP	EXPOSED	OA	OVERALL	VCT	VINYL COMPOSITION TILE
EXT	EXTERIOR	OH	OVERHEAD	VB	VINYL BASE
				VOL	VOLUME
FAB	FABRICATE	PTD	PAINTED		
FT	FEET	PART	PARTITION	WC	WATER CLOSET
FIN	FINISH	PASS	PASSENGER	WCBNT	WALL CABINET
FG	FINISH GRADE	PLAS	PLASTER	WIC	WALK-IN CLOSET
FP	FIREPROOFING	PLAM	PLASTIC LAMINATE	WLCV	WALL COVERING
FL	FLOOR	PL	PLATE	WF	WALL FABRIC
FD	FLOOR DRAIN	PT	PRESSURE TREATED	WP	WATERPROOF
FLUOR	FLUORESCENT			WWF	WELDED WIRE FABRIC
FTG	FOOTING	PLYWD	PLYWOOD	WWM	WELDED WIRE MESH
FDN	FOUNDATION	POL	POLISHED	WD	WINDOW DIMENSION
FAI	FRESH AIR INTAKE	PVC	POLYVINYL CHLORIDE	WGL	WIRE GLASS
		PSI	POUNDS PER SQUARE INCH	W	WITH
GALV	GALVANIZED	PB	PUSH BUTTON	WD	WOOD
GA	GAUGE			WFD	WOOD FOLDING DOOR
GYP	GYPSUM WALL BOARD				

- THE INFORMATION CONTAINED IN THESE DRAWINGS MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING SITE CONDITIONS. IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY, THESE DRAWINGS SHALL BE USED TO SHOW THE DESIGN INTENT ONLY.
- CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS CONCERNING ALL WORK, AND ALSO INFORMATION CONTAINED ON THE PERMIT DRAWINGS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH EITHER FABRICATION OR INSTALLATION OF THE WORK. IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD EXISTING SITE CONDITIONS PROHIBIT EXECUTION OF THE DESIGN INTENT OF THE DRAWINGS. ANY ADDITIONAL WORK, DEMOLITION AND/OR REMOVAL AS A RESULT OF FAILURE TO DO SO WILL BE AT THE CONTRACTOR'S EXPENSE.
- THE OWNER AND ARCHITECT ACCEPT NO RESPONSIBILITY FOR THE MANNER OR METHOD OF SAFETY PRECAUTIONS OR CONSTRUCTION. THE CONTRACTOR IS URGED TO EXERCISE THE UTMOST CARE FOR PROTECTION OF PROPERTY AND PERSONNEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTRICTING AND CONTAINING DUST AND DEBRIS GENERATED FROM CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS AND NETTING , AS REQUIRED, DURING CONSTRUCTION TO PREVENT DAMAGE OF PROPERTY OR PERSONNEL INJURY. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY WATERWEATHER PROOFING, AS REQUIRED, TO PROTECT THE BUILDING DURING CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION(S) OF THE LOCAL UNIFORM STATE WIDE BUILDING CODE (INCLUDING BUT NOT LIMITED TO BOCA NATIONAL BUILDING CODE, PLUMBING CODE & MECHANICAL CODE, NATIONAL ELECTRIC CODE (NEC) AND NATIONAL FIRE PROTECTION CODE (NFPA) STANDARDS, AMERICANS WITH DISABILITIES ACT) AND ALL APPLICABLE REGULATIONS FOR THIS JURISDICTION.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE WORK (UNLESS NOTED OTHERWISE).
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING SITE CONDITIONS PRIOR TO BID OR START OF WORK.
- ALL STUDS, CEILING FURRING AND FRAMING MEMBERS SHALL BE PLACED AS TO AVOID INTERFERENCE WITH LOCATIONS OF CASEWORK, RECESSED LIGHTING FIXTURES, PIPING, DUCT WORK AND THE LIKE.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT AND WORKMAN LIKE MANNER. ANY FINISHES DISTURBED OR DAMAGED BY THE CONTRACTOR DURING THE COURSE OF THE WORK SHALL BE REPAIRED TO NEW-CONDITION OR REPLACED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL INTERIOR AND EXTERIOR SURFACES PRIOR TO OCCUPANCY OF THE SPACE BY THE OWNER. ALL TRASH, CONSTRUCTION DEBRIS, TOOLS, ETC., SHALL BE REMOVED BY CONTRACTOR PRIOR TO OCCUPANCY.
- ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL BE COMPATIBLE WITH ALL OTHER EQUIPMENT AND MATERIALS SPECIFIED, UNLESS OTHERWISE INDICATED.
- ALL AREAS OF CONSTRUCTION ON THE SITE SHALL BE PROTECTED WITH A MINIMUM 6-FOOT HIGH PERIMETER FENCE AS MANDATED.
- ALL PENETRATIONS THROUGH FLOORS OR FIRE RATED WALLS SHALL BE PROVIDED WITH SLEEVES, FIRE PREVENTIVE MATERIAL AND CAULKING TO MATCH THE FIRE RATING OF THE RESPECTIVE FLOORS
- THE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS ARE DIAGRAMMATIC, REFER TO THE ENGINEERED SHOP DRAWINGS FOR DIMENSIONS AND DETAILS OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEERED SHOP DRAWINGS FOR ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS

SHEET INDEX

COVER SHEETS

CS-1	COVER SHEET
CS-2	CODE ANALYSIS / DOOR & WINDOW & PARTITION SCHEDULES

CIVIL SHEETS

Z001	SURVEYORS PLAT
C1.1	SOIL EROSION DATA CONTROLS
C1.2	EXISTING & PROPOSED SITE PLANS

ARCHITECTURAL SHEETS

D1.1	DEMOLITION PLAN
A1.1	ARCHITECTURAL FLOOR PLANS
A2.1	ARCHITECTURAL ELEVATION
A2.2	ARCHITECTURAL ELEVATION

ELECTRICAL SHEETS

E1.1	ELECTRICAL PLANS
------	------------------

STRUCTURAL SHEETS

S1.1	STRUCTURAL PLANS
S2.1	STRUCTURAL SECTIONS
S2.2	STRUCTURAL SECTIONS

COVER SHEET
GARAGE ADDITION
1313 WEST VIRGINIA AVENUE NE
WASHINGTON, D.C.

REVISIONS

DATE:
DRAWN BY: D.T.S.
JOB NO. 018796

CS-1

PROJ-DOC INDEX

Building Information

CONSTRUCTION DOCUMENT PREPARATION /
CONSTRUCTION MANAGERS:

GRIN DESIGN GROUP

OWNER:

DUCHE FAMILY

PROJECT NAME:

GARAGE ADDITION

DESCRIPTION:

INSTALL NEW 20X22 REAR GARAGE WITH ROOF TOP DECK.

APPLICABLE BUILDING CODE:

IBC 2012 # DCMR 12A-2013 BUILDING CODE SUPPLEMENT
IMC 2012 # DCMR 12E-2013 MECH. CODE SUPPLEMENT
IPC 2012 # DCMR 12F-2013 PLUMBING CODE SUPPLEMENT
IEC 2012 NFPA NEC 2011 # DCMR 12C-2013 ELEC. CODE
SUPPLEMENT
IFC 2012 # DCMR 12H-2013 FIRE CODE SUPPLEMENT
IEEC 2012 # DCMR 12I-2013 ENERGY CONSERVATION CODE
SUPPLEMENT

BUILDING TYPE:

5B

USE CODE

R-3

OCCUPANCY CLASSIFICATION

ACCESORY USE - GARAGE

NUMBER OF STORIES ABOVE GRADE

1

NUMBER OF STORIES BELOW GRADE

0

SPRINKLER

NO

SMOKE DETECTOR

YES

FIRE ALARM

NO

FIRE EXTINGUISHERS

YES

CARBON MONOXIDE DETECTION

YES

ADA ACCESSIBILITY

NO

HEIGHT OF BUILDING

35 FEET

OCCUPANCY LOAD - 200 GROSS SF / PP

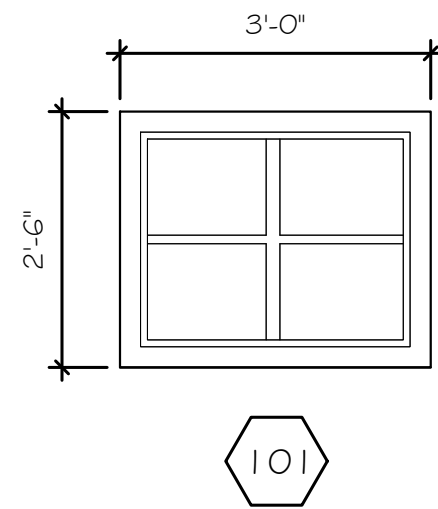
CELLAR LEVEL	937	--
FIRST FLOOR	937	--
SECOND FLOOR	937	--
THIRD LEVEL	N/A	--
ROOF DECK	N/A	--
COV. PORCH	143	--

TOTAL	2954	--
-------	------	----

Window & Door & Finish Schedule

WINDOW SCHEDULE

TAG NO.	R.O. SIZE	UNIT SIZE	TYPE	OPER.	EGRESSIBLE MX. SILL HT. 44"	SILL HT.	FRAME TYPE	PRODUCT MANUF.
101	3'-1" x 2'-7"	3'-0" x 2'-6"	AWNING	YES	N/A	V.I.F.	WD.	PROVIDE LOW-E GLAZING TEMPERED

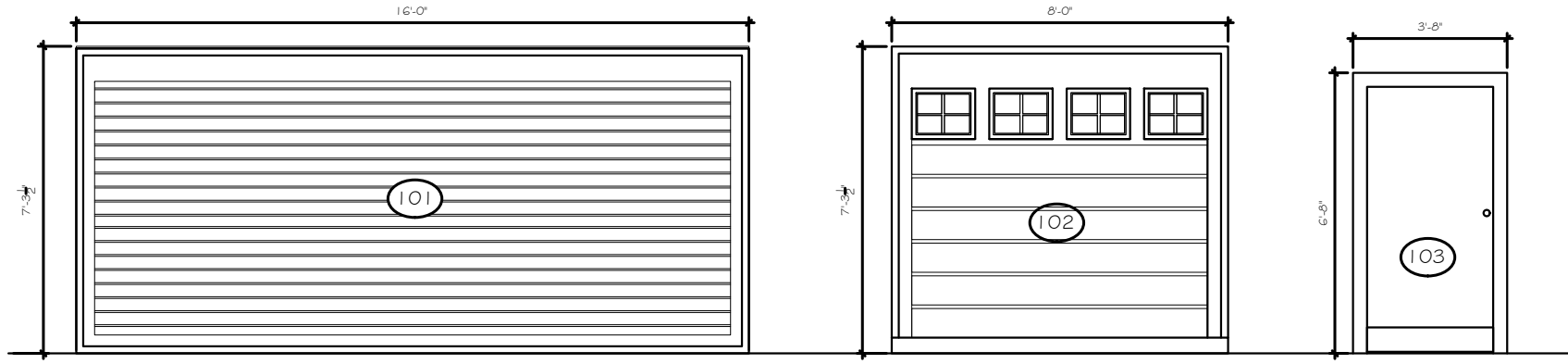


WINDOW INSTALLATION NOTES:

- DIMENSIONS INDICATED ON PLANS AND SCHEDULES ARE NOMINAL.
- CONTRACTOR TO COORDINATE ROUGH OPENINGS AT THE JOB SITE PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE TEMPERED SAFETY GLASS IN ALL WINDOWS AND DOORS IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS.
- PROVIDE HEAD, JAMB, SILL RECEPTORS AT WINDOW SYSTEMS.
- PROVIDE HEAD, JAMB, SILL RECEPTORS AT SLIDING DOOR AND WINDOW WALL SYSTEMS.
- PROVIDE STRUCTURAL REINFORCING AT VERTICAL AND HORIZONTAL MULLIONS AT SLIDING DOOR AND WINDOW WALL SYSTEMS, IF REQUIRED BY MANUFACTURERS.
- ALL WINDOWS SHALL MEET 2012 IECC TABLE R402.1.1 PRESCRIPTIVE VALUES: FENESTRATION U-FACTOR = .35, ... GLAZED FENESTRATION SHGC = .40, ... SKYLIGHT U-FACTOR = .55
- EGRESS WINDOWS AT ALL BEDROOMS SHALL MEET MINIMUM EGRESS OPENING SIZES - A MINIMUM TOTAL OPENABLE AREA NOT LESS THAN 6 SF. A MINIMUM CLEAR OPENABLE HEIGHT NOT LESS THAN 24 INCHES, A MINIMUM OPENABLE WIDTH NOT LESS THAN 20 INCHES, A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES.
- FOR ALL WINDOWS AND DOORS, PRIOR TO PLACING ORDERS CONTRACTOR SHALL VERIFY THAT DOOR # CASING SHALL FIT PROPOSED OR EXISTING LOCATIONS # CONTRACTOR SHALL PRESENT A FINAL SCHEDULE TO OWNER # ARCHITECT FOR APPROVAL, SHOWING MANUFACTURERS SIZE, TYPE, COLOR PHOTO OR DRAWING, TRIM, HARDWARE # OTHER SHOP DRAWING SUBMITTAL INFORMATION.

DOOR SCHEDULE

TAG NO.	DOOR UNIT		DOOR				FRAME			HARDWARE			
	R.O. SIZE	UNIT SIZE	MATERIAL	FINISH	THICKNESS	FIRE RATING	MATERIAL	FINISH	FIRE RATING	LOCKSET TYPE	LOCATION	TYPE	REMARKS
102	16'-2" x 7'-4"	3'-0" x 7'-4"	METAL	PT	1 3/4"	1.5 HR	MET	PT	1 HR	ENTRY	ALLEY ENTRY	GARAGE	O.H. ROLL UP DOOR
103	8'-2" x 7'-4"	8'-0" x 7'-4"	METAL	PT	1 3/4"	1.5 HR	MET	PT	1 HR	ENTRY	YARD ENTRY	GARAGE	O.H.GARAGE DOOR
104	3'-2" x 6'-10"	3'-0" x 6'-8"	METAL	PT	1 3/4"	1.5 HR	MET	PT	1 HR	ENTRY	YARD ENTRY	SWING	



FINISH SCHEDULE

	GARAGE	DECK
WALLS	GYP. BD. - PTD	GYP. BD. - PTD
FLOORS	CONCRETE	RAISED COMPOSITE DECKING ON ROOF MEMBRANE
CEILINGS	1 HR. FIRE RATED GYP. BD. - PTD	N/A

Energy Efficiency Standards

NUMBER	COMPONENT	CRITERIA
1	Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air-permeable insulation is not used as a sealing material. Air-permeable insulation is inside of an air barrier.
2	Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
3	Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
4	Windows and doors	Space between window/door jambs and framing is sealed.
5	Rim joists	Rim joists are insulated and include an air barrier.
6	Floors (excluding above-garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation.
7	Crawl space walls	Insulation is permanently attached to walls. Exposed earth in unvented crawl spaces is covered with Class I vapor retarder with overlapping joints taped.
8	Shafts, penetrations	Duct shafts, utility penetrations, knee walls and fue shafts opening to exterior or unconditioned space are sealed.
9	Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by spray/blown insulation.
10	Garage separation	Air sealing is provided between the garage and conditioned spaces.
11	Recessed lighting	Recessed light fixtures are air tight, IC rated, and sealed to drywall. Exception—fixtures in conditioned space.
12	Plumbing and wiring	Insulation is placed between outside and pipes. Bulk insulation is cut to fit around wiring and plumbing, or spray/blown insulation extends behind piping and wiring.
13	Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
14	Electrical/phone box on exterior walls	Air barrier extends behind boxes or air sealed-type boxes are installed.
15	Common wall	Air barrier is installed in common wall between dwelling units.
16	HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
17	Fireplace	Fireplace walls include an air barrier.

Zoning Analysis

ACCESSIBILITY - FAIR HOUSING

REQUIRED

PROVIDED

TOTAL UNITS PROVIDED
TYPE A - ACCESSIBLE UNITS (15% MINIMUM OF TOTAL)
TYPE B - ACCESSIBLE UNITS

N/A

NA

INCLUSIONARY ZONING

TOTAL NET RESIDENTIAL SF
AFFORDABLE RESIDENTIAL SF (10% MINIMUM OF TOTAL)

N/A

N/A

N/A

UNIT BREAKDOWN

PROVIDED

NET SQUARE FOOTAGE

TOTAL UNITS
MARKET RATE UNITS
TOTAL AFFORDABLE UNITS
UNITS AT 50% AMI (1 BEDROOM) - UNIT 204
UNITS @ 80% AMI (1 BEDROOM + DEN) - UNIT L2

N/A

N/A

N/A

N/A

N/A

N/A

PARKING

REQUIRED

PROVIDED

TOTAL PARKING SPACES (1 PER 2 UNITS)
STANDARD SPACES
COMPACT SPACES
ACCESSIBLE PARKING SPACES

1

2

1

2

N/A

N/A

N/A

N/A

PERVIOUS SURFACE CALCULATION

REQUIRED

PROVIDED

PERVIOUS AREA
NON PERVIOUS
- BLDG. COVER
- COVERED PORCH
- WALK WAY
- REAR DECK # STAIRS
- 2 CAR GARAGE

425 SF / 20%

175 SF 8%

937 SF 44%

143 SF 6%

80 SF 3%

298 SF 14%

495 SF 23%

TOTALS : 2128 SF / 100%

Zoning Computation

RF1 - SQUARE 3024 / LOT 0053

	EXISTING	PROPOSED	MAXIMUM	NOTES
LOT SIZE	2128 SF	NO CHANGE	-	
LOT COVERAGE	1080 SF	1575 SF	999 SF	
(PERCENTAGE)	50 %	74 %	60%	
REAR YARD	32'	0	20'-0" MINIMUM	
SIDE YARD	8' / 0'	8' / 0'	-	
OPEN COURT		NONE	N/A	
HEIGHT	26'-0"	26'-0"	35'-0"	
STORIES	2 + C	2 + C	3 + C	
F.A.R.	-	N/A	N/A	
SQUARE FOOTAGES				
CELLAR		937 SF		
FIRST FLOOR		937 SF		
SECOND FLOOR		937 SF		
THIRD FLOOR		N/A		
ROOF DECK		N/A		
COVERED PORCH		143 SF		

Fire Rating Data

EXTERIOR LOAD BEARING FACE ON PROPERTY LINE WALLS

2 HOUR FIRE RATED PARTITION - U 904

EXTERIOR LOAD BEARING PARTY WALLS

N/A

INTERIOR LOAD BEARING SEPARATION WALLS

N/A

CEILING

1 HOUR FIRE RATED DRYWALL

ROOF FRAMING

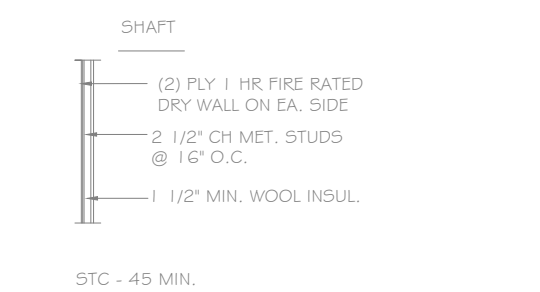
1 HOUR FIRE RATED, 1 JOIST @ 16" O.C. - UL 521

Partition Schedule

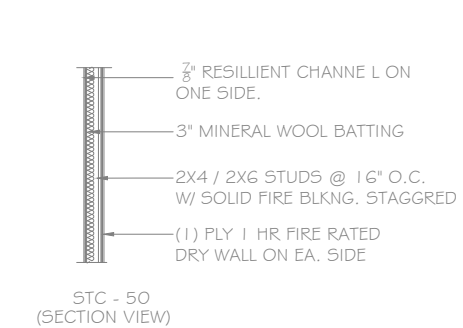
GENERAL NOTES:

1. PROVIDE FIRE STOPPING SEALANT BARRIER AT ALL PENETRATIONS THROUGH FIRE RATED WALL. ALL EQUIP. AND DEVICES PENETRATING RATED WALLS SHALL ALSO BE FIRE RATED TO MEET OR EXCEED FIRE RATING AS INDICATED.

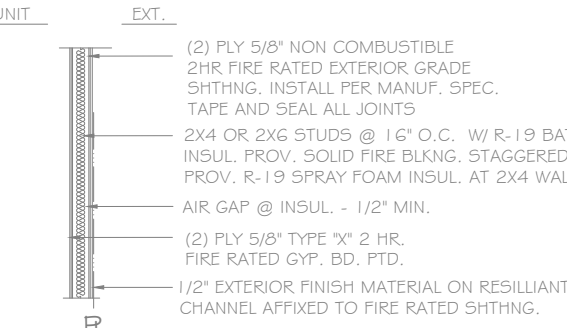
2 HR. FIRE RATED SHAFT WALL @
PLUMBING # MECH. CHASE
U436



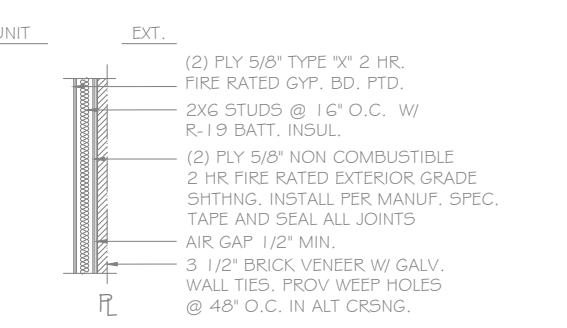
1 HR. FIRE RATED UNIT SEP.
PARTITIONS
U.L. U305



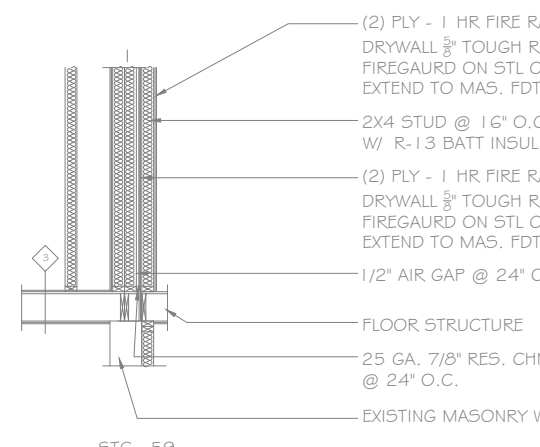
2 HR. FIRE RATED EXT. WALL
FACE ON PROPERTY LINE
U.L. U301



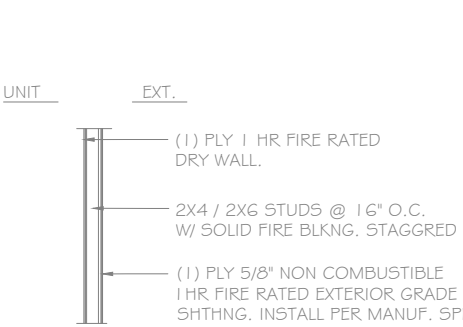
2 HR. FIRE RATED EXT. WALL
W/ BRICK VENEER
U.L. U302 / U334



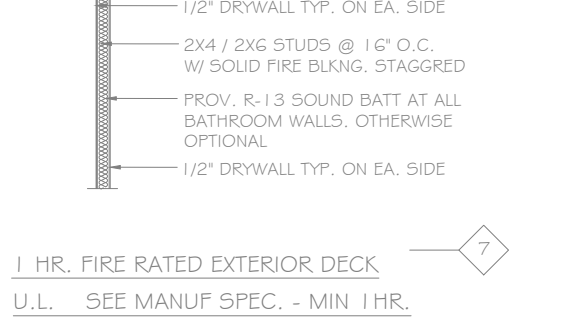
2 HR. FIRE RATED PARTITIONS
U.L. U334 (UNIT SEPARATION
@ PROP. LINE)



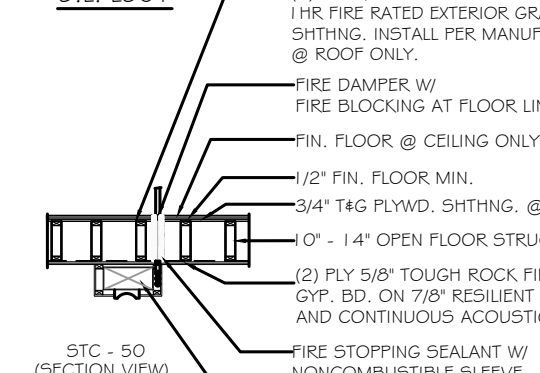
1 HR. FIRE RATED EXT. WALL
@ PARAPET
U.L. U305



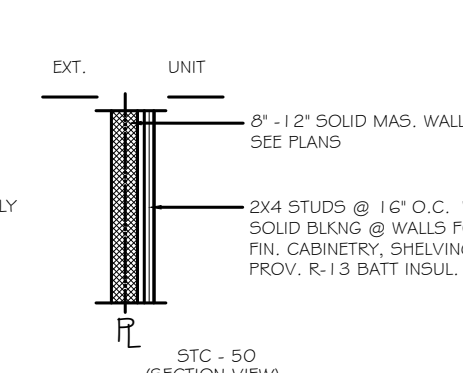
TYPICAL WALL PARTITION
NON LOAD BEARING



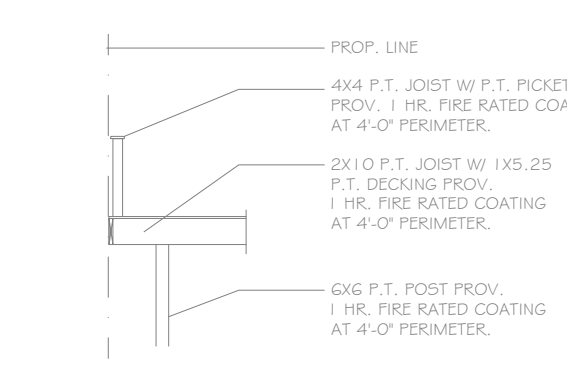
1 HR. FIRE RATED CEILING / ROOF /
AND UNDERSIDE OF STAIR
U.L. L501



U904 3 HR. FIRE RATED
EXTERIOR MAS. WALL @ UNIT



1 HR. FIRE RATED EXTERIOR DECK
U.L. SEE MANUF SPEC. - MIN 1 HR.



THIS DRAWING AND THE DESIGN
SHOWN IS THE PROPERTY OF
THE ARCHITECT AND MAY NOT BE
REPRODUCED, COPIED OR USED
WITHOUT WRITTEN PERMISSION.
COPYRIGHT ©2021

G.R.I.N DESIGN GROUP INC.

G

CODE ANALYSIS / DOOR & WINDOW & PARTITION SCHEDULE

REVISIONS

DATE:

DRAWN BY: D.T.S.

JOB NO. 018796

CS-2

DCRA INDEX

002

WASHINGTON, D.C.

DEMOLITION PLANS

CONCRETE

EXISTING MASONRY WALL TO REMAIN

NEW 8" CMU MASONRY WALL

STRUCTURE TO BE REMOVED

NEW STUD FRAMED WALL

PROPERTY LINE

GENERAL NOTES:

1. CONTRACTOR SHALL PROVIDE DETAILED DEMOLITION SEQUENCING TO OWNER BEFORE DEMOLITION COMMENCEMENT.

2. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND TEMPORARY SUPPORTS BEFORE THE REMOVAL OF WALL FRAMING OR STRUCTURE.

2. PROVIDE NEW STEEL ANGLE FOR ALL MASONRY OPENINGS. SEE STRUCTURAL DRAWINGS FOR SIZES.

REMOVE PORTION OF MASONRY TO CREATE NEW THRU-WAY OPNG. CONTRACTOR SHALL STABILIZE AND SUPPORT EXISTNG WALL DURING DEMOLITION

REMOVE PORTION OF MASONRY TO CREATE NEW OPNG. CONTRACTOR SHALL STABILIZE AND SUPPORT EXISTNG WALL DURING DEMOLITION

REMOVE STAIR STRUCTURE

EXISTING WOOD DECK TO REMAIN

REMOVE AND REPLACE STAIR STRUCTURE TO ACCOMMODATE NEW ENTRY STAIR

W/D

1

D1.1

FIRST LEVEL

SCALE: 1/4"=1'-0"

REMOVE PORTION OF MASONRY TO CREATE NEW THRU-WAY OPNG. CONTRACTOR SHALL STABILIZE AND SUPPORT EXISTNG WALL DURING DEMOLITION

REMOVE PORTION OF MASONRY TO CREATE NEW OPNG. CONTRACTOR SHALL STABILIZE AND SUPPORT EXISTNG WALL DURING DEMOLITION

EXISTING WALL STRUCTURE

BRUMB GRACE

2

D1.1

NORTH ALLEY ELEVATION

SCALE: 1/4"=1'-0"

THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2021 G.R.I.N INC.

G.R.I.N DESIGN GROUP INC.
gn81976@yahoo.com
(240) 355-3876

SCHEMATIC DESIGN PLANS

2 CAR GARAGE PROPOSAL
1313 WEST VIRGINIA AVE NE
WASHINGTON D.C.

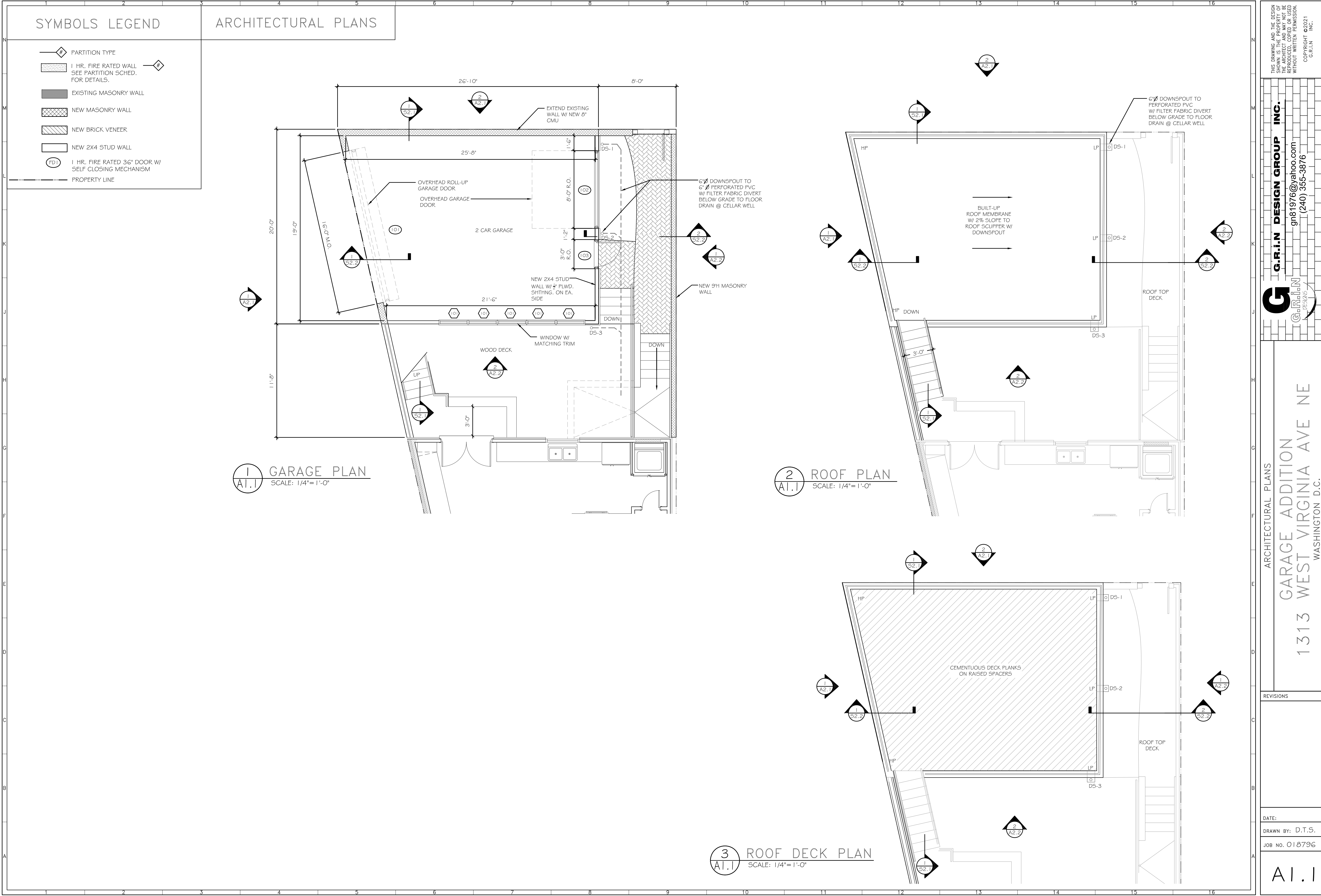
REVISIONS

DATE:

DRAWN BY: D.T.S.

JOB NO. 018796

D1.1



THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2021 G.R.I.N INC.

G.R.I.N DESIGN GROUP INC.
gn81976@yahoo.com
(240) 355-3876

G.R.I.N
DESIGNS

ARCHITECTURAL PLANS

GARAGE ADDITION

1313 WEST VIRGINIA AVE NE

WASHINGTON D.C.

REVISIONS

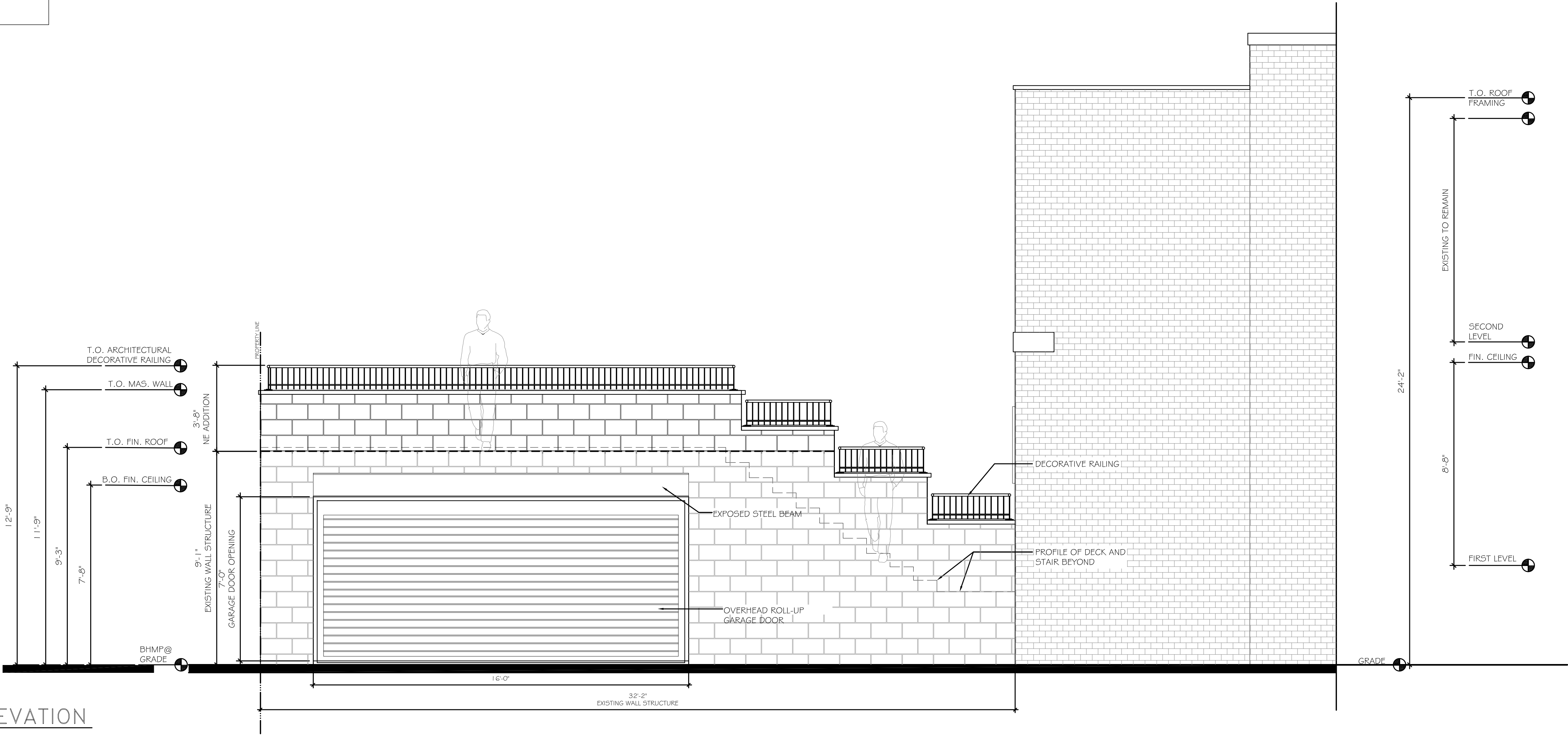
DATE:

DRAWN BY: D.T.S.

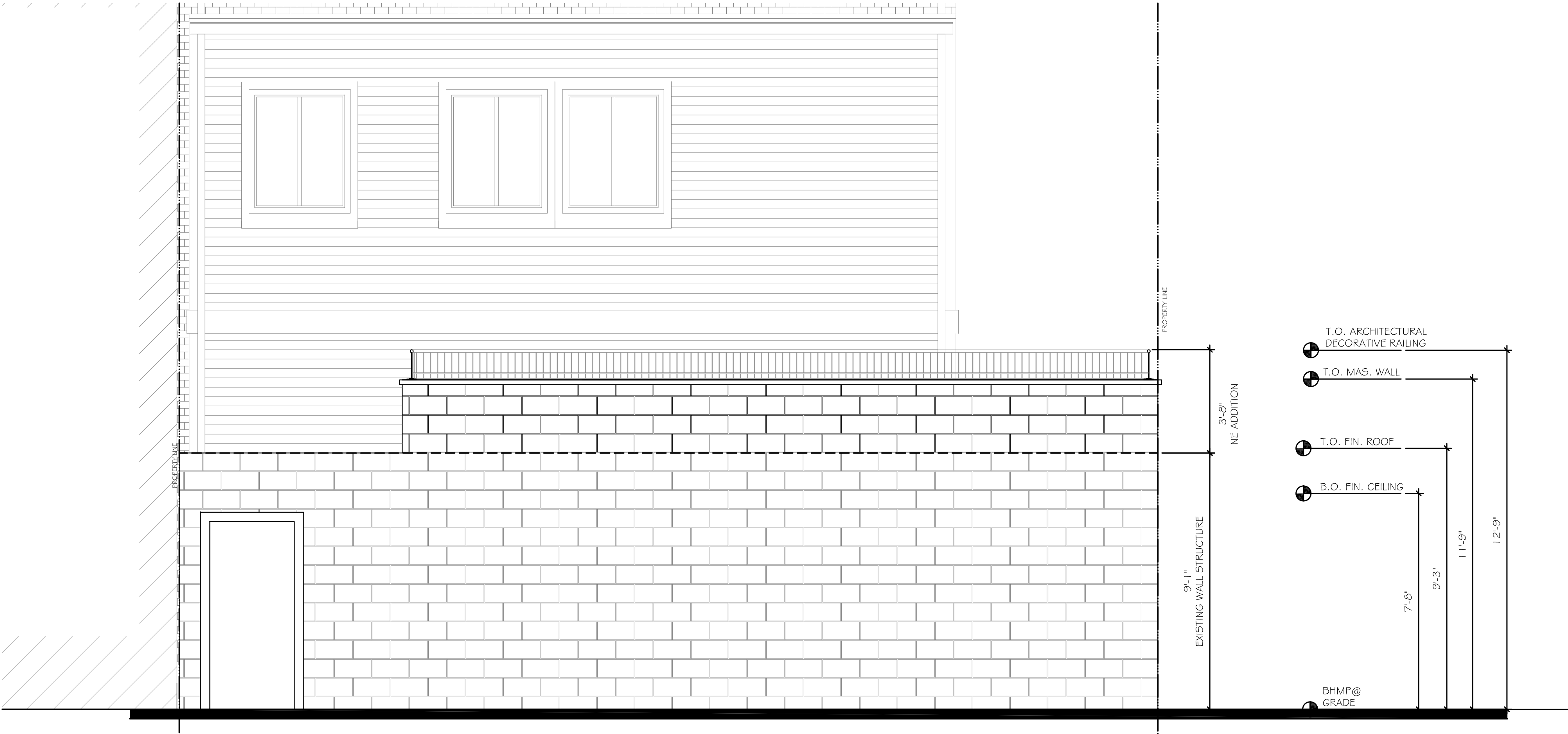
JOB NO. 018796

A1.1

ARCHITECTURAL ELEVATIONS



1 NORTH ALLEY ELEVATION
A2.1 SCALE: 3/8"= 1'-0"



2 REAR ALLEY ELEVATION
A2.1 SCALE: 3/8"= 1'-0"

THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2021 G.R.I.N INC.

G.R.I.N DESIGN GROUP INC.
gn81976@yahoo.com
(240) 355-3876

G **G.R.I.N** **DESIGNS**

ARCHITECTURAL ELEVATIONS

GARAGE ADDITION

1313 WEST VIRGINIA AVE NE

WASHINGTON D.C.

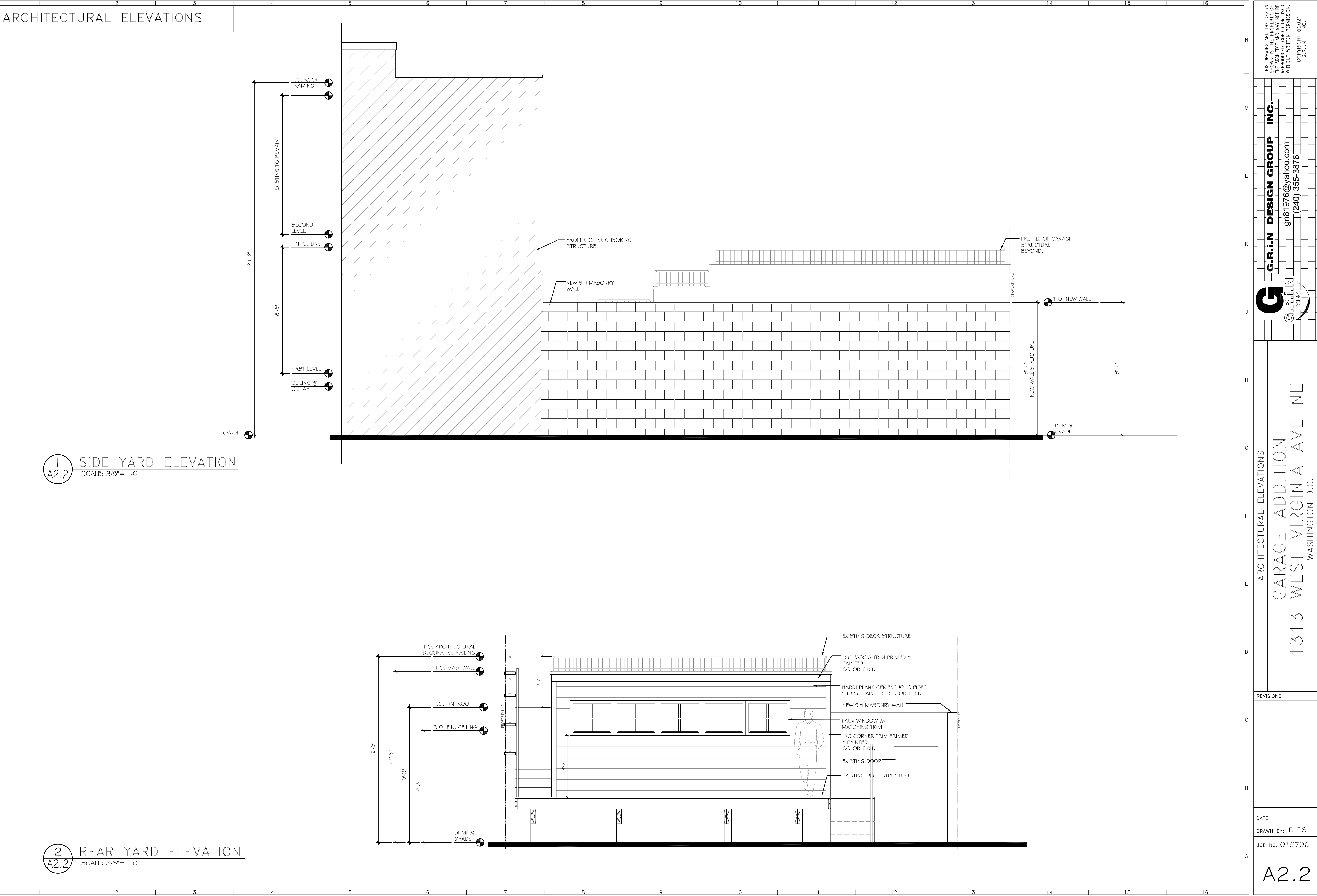
REVISIONS

DATE:

DRAWN BY: D.T.S.

JOB NO. 018796

A2.1



THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2021 G.R.I.N INC.

G.R.I.N DESIGN GROUP INC.
gn81976@yahoo.com
(240) 355-3876

G **G.R.I.N** **DESIGNS**

ARCHITECTURAL ELEVATIONS
GARAGE ADDITION
1313 WEST VIRGINIA AVE NE
WASHINGTON D.C.

REVISIONS

DATE:

DRAWN BY: D.T.S.

JOB NO. 018796

A2.2

ELECTRICAL NOTES, SYMBOLS AND DETAILS

1. WORK SHALL INCLUDE ELECTRICAL DEMOLITION, FURNISHING AND INSTALLATION OF ALL ELECTRICAL SYSTEMS AND EQUIPMENT AS SHOWN
- 2.CONTRACTOR TO APPRISE HIMSELF WITH THE DRAWINGS AND ENDURE THAT ALL NEW INSTALLATIONS COMPLY WITH APPLICAL ELECTRICAL CODES
3. CONTRACTOR TO VERIFY THE CONSTRUCTION DOCUMENTS ARE COORDINATED WITH MECHANICAL AND PLUMBING DOCUMENTS AND COMPLIANCE OF NEW INSTALLATION WITH APPLICABLE ELECTRICAL CODE
4. PROVIDE BACKBOARD FOR NEW TELEPHONE AND OR CABLE EQUIPMENT, COORDINATE LOCATION IN FIELD WITH OWNER
5. ALL ELECTRICAL FIXTURES EXPOSED TO BE MOISTURE TO BE WATERPROOF WHETHER INDICATED OR NOT
6. ALL ABOVE COUNTER ELECTRICAL RECEPTICLES LOCATED WITHIN 6'-6" MEASURED HORIZONTALLY FROM A SINK ARE TO BE GFCI TYPE, WHETHER INDICATED OR NOT
7. EXISTING ELECTRICAL WIRING MAY BE REUSED TO THE EXTENT THAT IT MEETS CODE AND COORDINATES WITH THE INTENT OF THE ILLUSTRATED DESIGN. WHERE THE EXISTING DOES NOT COORDINATE WITH THE DESIGN INTENT, THE CONTRACTOR IS TO COORDINATE THE EXECUTION WITH THE INTERIOR DESIGN/ OWNER
8. CONTRACTOR TO VERIFY ANY SPECIAL RECEPTICLES FOR EQUIPMENT AND COORDINATE SUCH WITH MUNUFACTURER RECOMMENDATIONS
9. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORY UL SEAL
10. SALVAGE AND OR PREVIOUSLY USED EQUIPMENT MAY NOT BE USED
11. CONTRACTOR TO COORDINATE UTILIZATION OF FIXTURES, FICTURE TYPES AND PRECISE PLACEMENT WITH THE INTERIOR DESIGNER AND OWNER
12. NOTE THAT THE OWNER INTENDS TO PLACE A WET BAR UNDER THE FIRST LEVEL STAIRCASE. THE LOCATION OF LIGHTING AND GFI OUTLET TO BE COORDINATED WITH INTERIOR DESIGNER/ SHOP DRAWINGS.
13. UNDER CABINET LIGHTING FOR KITCHEN CABINETS TO BE COORDINATED WITH THE OWNER AND INTERIOR DESIGNER.
14. LIGHT FIXTURES SHALL BE OWNER PROVIDED, CONTRACTOR INSTALLED
15. ALL RECESSED LIGHT FIXTURES INSTALLED ADJACENT TO THE ATTIC SPACE SHALL UTILIZE **ATTC**- AIR TIGHT INSULATED CANS TO LIMIT AIR LEAKAGE. CONTRACTOR TO CLOSELY FOLLOW INSTALLATION INSTRUCTIONS REGARDING GASKETS AND SEALS TO ENSURE EFFECTIVENESS UPON INSTALLATION
15. WIRING, RACEWAY, BOXES AND CONDUIT PENETRATING FIRE RATED ASSEMBLIES MUST BE PROPERLY SEALED WITH APPROPRIATE FIRE STOPPING OR FIRE RESISTANT FITTING USED SO AS TO ENSURE THE FIRE RATED ASSEMBLY IS NOT COMPRASIMISED.

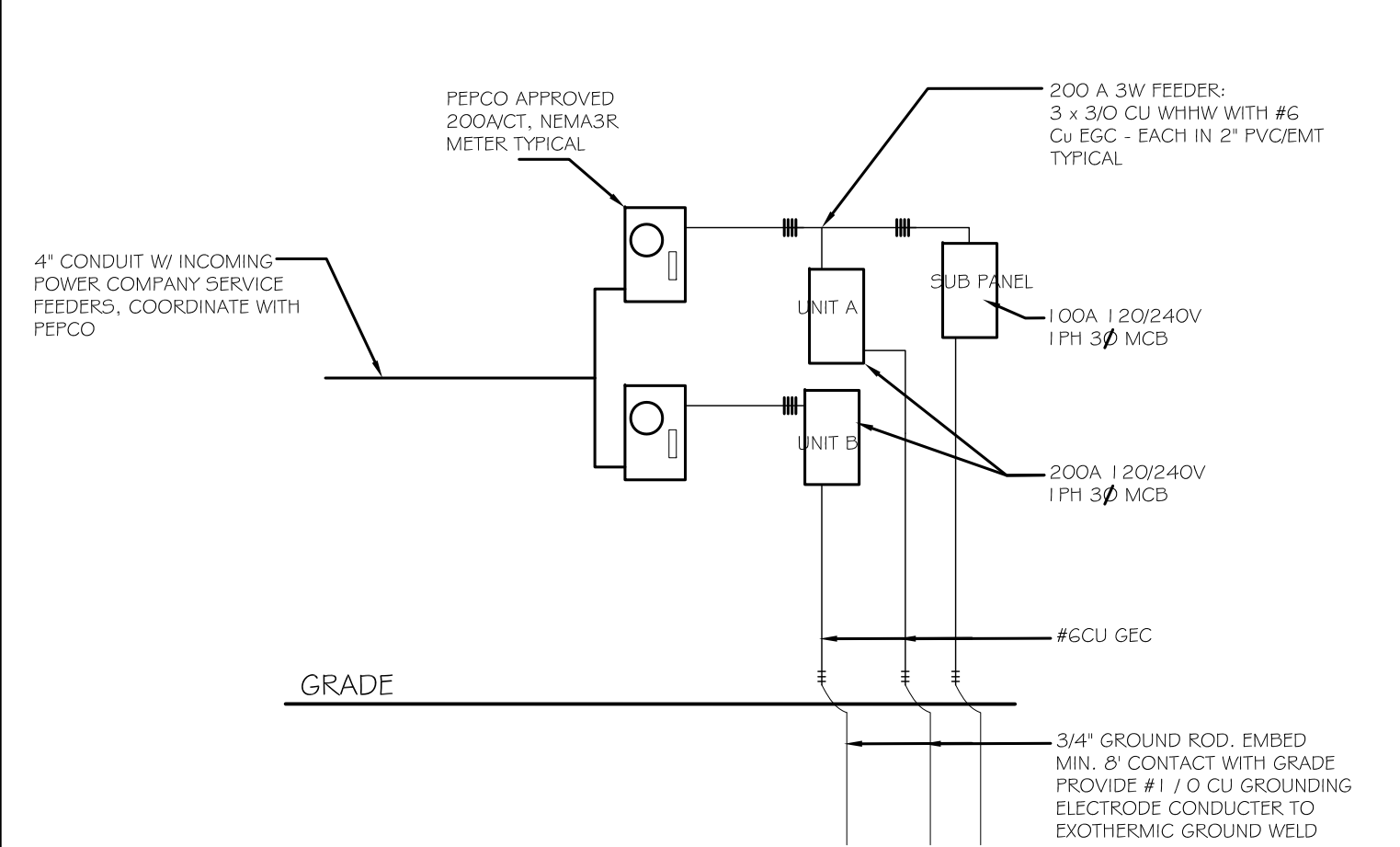
ELECTRICAL EQUIPMENT SCHEDULE

PANEL BOARD:
SIEMENS ES SERIES 100 AMP 40 SPACE 54 CIRCUIT MAIN BREAKER LOAD CENTER
120 / 240 VOLT OR EQUAL APPROVED

ELECTRICAL LIGHTING FIXTURES:
ALL LIGHTING FIXTURES, SWITCH TYPES, OUTLETS ETC TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER

LIGHTING FIXTURE EFFICIENCY
AT LEAST 75% OF LAMPS USED IN LIGHTING FIXTURES MUST BE HIGH EFFICIENCY

ELECTRICAL RISER DIAGRAM



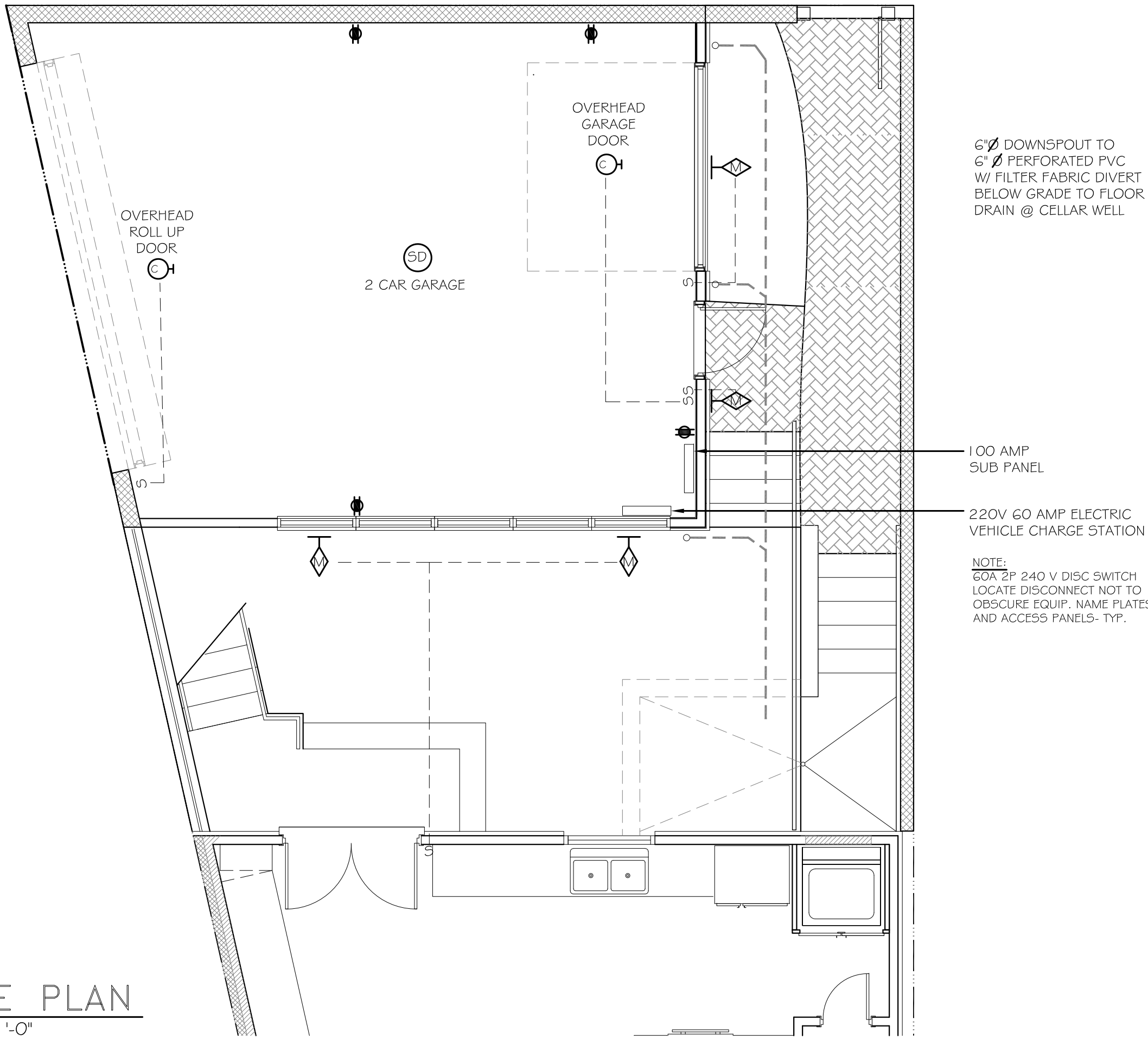
ELECTRICAL PANEL SCHEDULE – UNIT A

ELECTRICAL SYMBOLS LEGEND

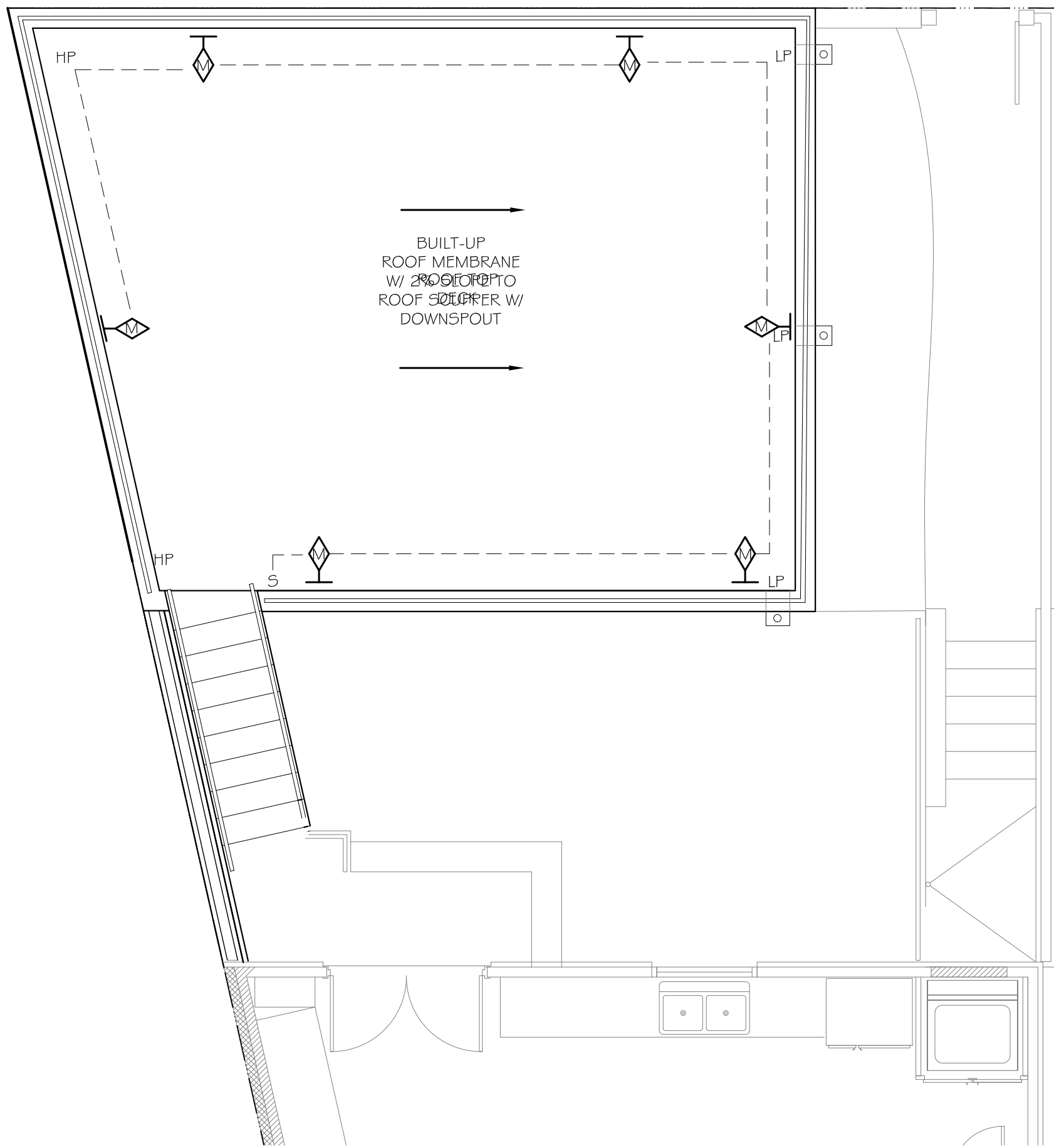
- DUPLEX RECPTACLES - MTD 18" A.F.F. / U.N.O.
- DUPLEX RECPTACLES - GFI MTD 6" ABOVE CTR. TOP
- SWITCH
- CEILING MTD 100 CFM FAN - VENTED
- GARBAGE DISPOSAL
- EXTERIOR MOTION DETECTOR LIGHT FIXTURE
- CEILING LIGHT FIXTURE TYPE - TBD
- DROP PENDENT LIGHT FIXTURE
- LANDSCAPE LIGHT - TYPE T.B.D. BY OWNER
- RECESSED LIGHT FIXTURE
- SMOKE DETECTOR & CARBON MONOXIDE DETECTION HARD WIRED AND INTER-CONNECTED
- DATA COMM. PORT (ELEC. CABLE / TELEPHONE / DATA)
- BASEBOARD HEATER W/ PROGRAMMABLE THERMOSTAT
- 200 AMP 200 AMP PANEL
- HOMERUN TO CB AT PANEL

ELECTRICAL PLANS

1
E.I.1 GARAGE PLAN
SCALE: 1/4"= 1'-0"

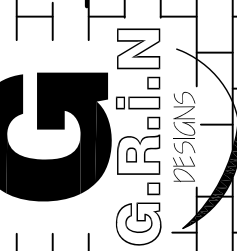


1
E.I.1 ROOF DECK PLAN
SCALE: 1/4"= 1'-0"



THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT WRITTEN PERMISSION.
COPYRIGHT ©2021 G.R.i.N INC.

G.R.i.N DESIGN GROUP INC.
gn81976@yahoo.com
(240) 365-3876



ELECTRICAL PLANS
GARAGE ADDITION
1313 WEST VIRGINIA AVE NE
WASHINGTON D.C.

REVISIONS

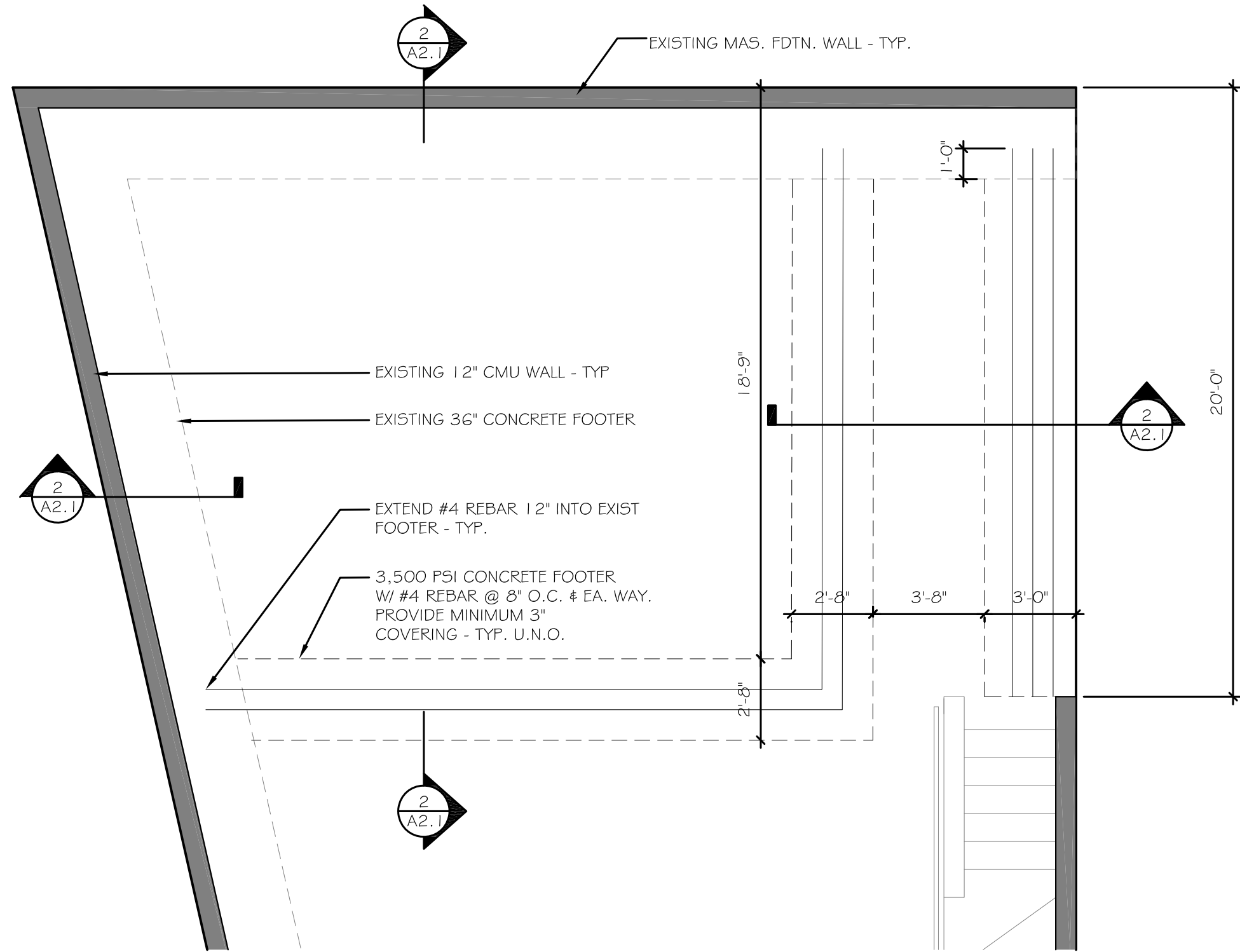
DATE:

DRAWN BY: D.T.S.

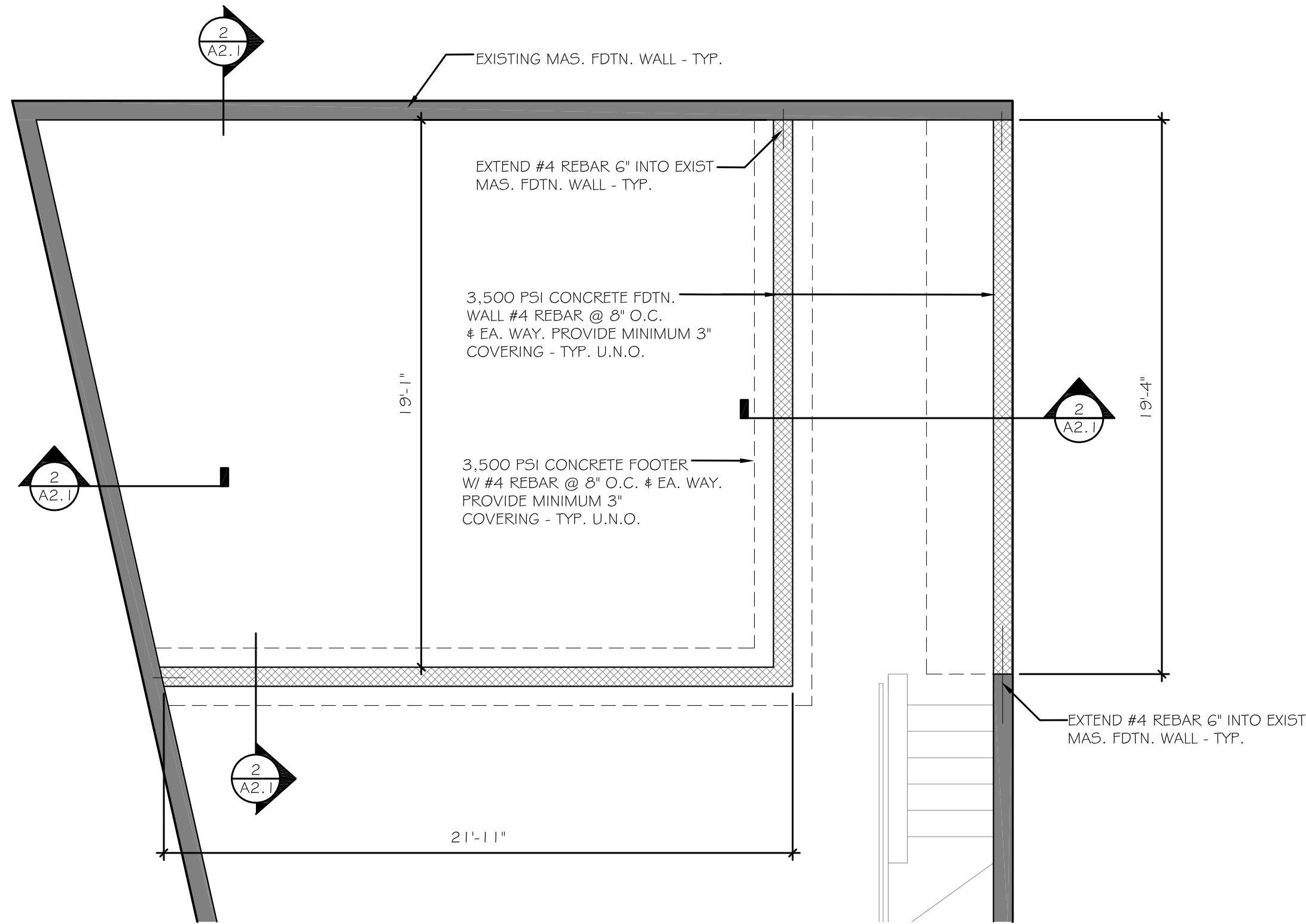
JOB NO. 018796

E.I.1

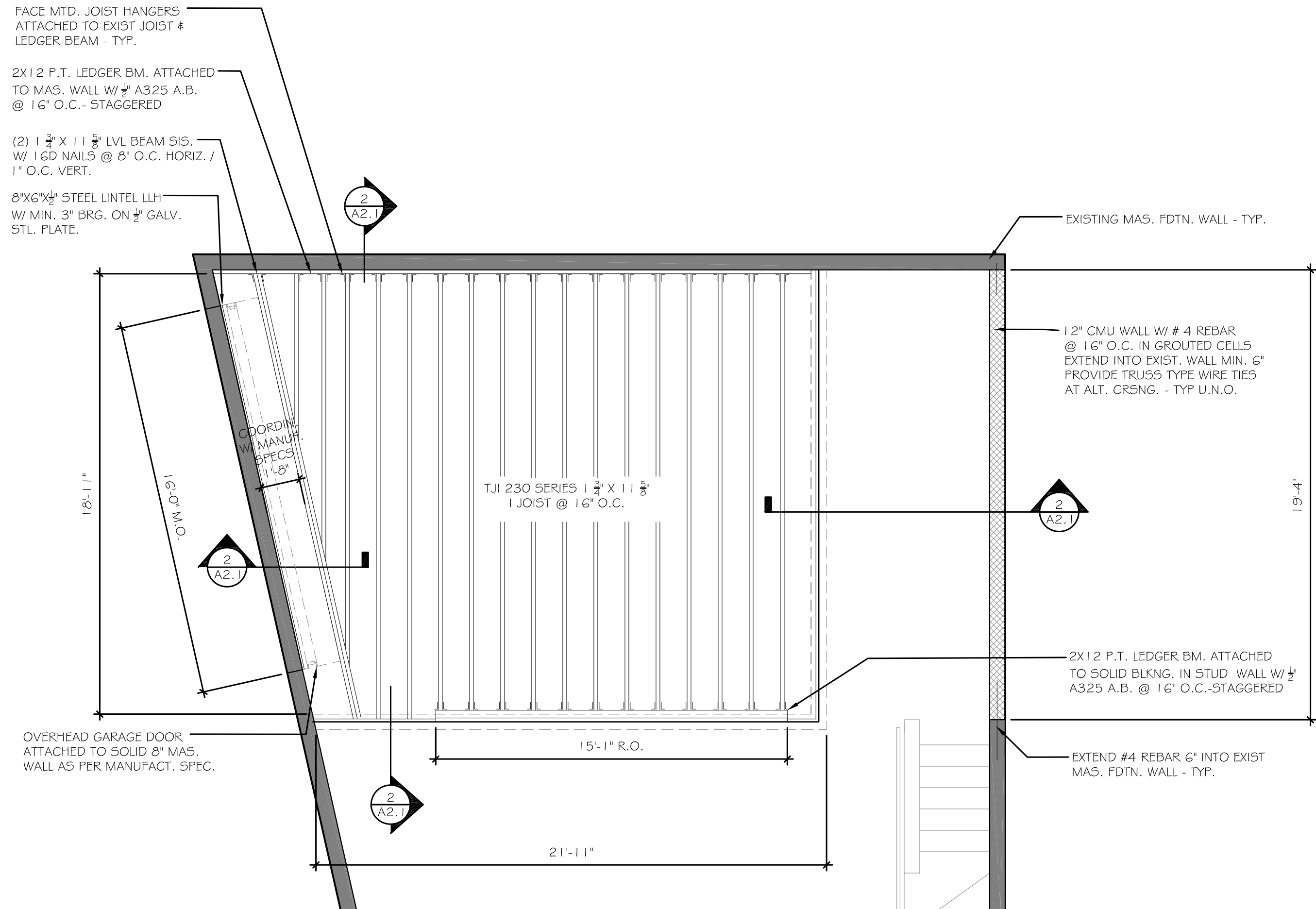
STRUCTURAL PLANS



1 FOUNDATION PLAN
SI.1 SCALE: 1/4"=1'-0"



2 WALL FRAMING PLAN
SI.1 SCALE: 1/4"=1'-0"



3 ROOF FRAMING PLAN
SI.1 SCALE: 1/4"=1'-0"

THIS DRAWING AND THE DESIGN
SHOWN ARE THE PROPERTY OF
THE ARCHITECT AND MAY NOT BE
REPRODUCED, COPIED OR USED
WITHOUT WRITTEN PERMISSION.
COPYRIGHT ©2021
G.R.I.N. INC.

G.R.I.N. DESIGN GROUP INC.
gn81976@yahoo.com
(240) 365-3876
G.R.I.N. DESIGNS

STRUCTURAL PLANS
GARAGE ADDITION
1313 WEST VIRGINIA AVE NE
WASHINGTON D.C.

REVISIONS

DATE:
DRAWN BY: D.T.S.
JOB NO. 018796

SI.1

STRUCTURAL DETAILS

THRU-SECTION 52.1
SCALE: 3/4"=1'-0"

STRUCTURAL SECTION DETAILS
GARAGE ADDITION
1313 WEST VIRGINIA AVE NE
WASHINGTON D.C.

G.R.I.N. DESIGN GROUP INC.
gn81976@yahoo.com
(240) 355-3876
COPYRIGHT ©2021 G.R.I.N. INC.

REVISIONS


DATE:
DRAWN BY: D.T.S.
JOB NO. 018796

52.1

The structural section drawing illustrates a cross-section of a garage addition. The foundation consists of a 3,500 PSI concrete footer with #4 rebar at 8" o.c., topped by a 12"x6" 3,500 PSI concrete grade beam with #4 rebar at 8" o.c. The exterior wall is made of 3,500 PSI concrete with #4 rebar at 8" o.c. The interior wall is constructed from 2x4 studs with 1/2" gypsum board on the exterior and 5/8" fire-rated gypsum board on the interior. The roof is composed of 2x12 rim joists supporting 2x12 P.T. ledger beams, which are attached to solid blocking in the stud wall. The roof deck is made of 2x4 plywood sheathing on the exterior side. The floor is a 4" concrete slab on top of 4" crushed gravel, with a 6-mil poly vapor barrier and two layers of #4 rebar. The ceiling is made of TJI 230 series joists at 16" o.c. The drawing also shows a decorative metal handrail on the exterior wall, a metal wall cap flashing, and a built-up rubber roof membrane with rigid insulation sloped to the roof drain. The property line is indicated on the right side of the drawing.

Labels and Dimensions:

- 1" EXPANSION JOINT W/ EPOXY JOINT FILLER
- 4" CONCRETE SLAB W/ #6 -W2.OX2.O WWF ON 4" CRUSHED GRAVEL, PROV. 6 MILL POLY VAPOR BARRIER AND (2) #4 REBAR
- 12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @ 8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
- 12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @ 8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
- 12"x6" 3,500 PSI CONCRETE FOOTER W/ (3) #4 REBAR W/ EQ. SPCNG. 4 EA. WAY. PROVIDE MINIMUM 3" COVERING - TYP. U.N.O.
- 2'x4 CONV. FRAMED STUD WALL W/ 1/2" GYPSUM BOARD, 5/8" EXT. GRADE FLYWD. SHITTING, ON EA. SIDE.
- 2'x4 CONV. FRAMED STUD WALL W/ 1/2" GYPSUM BOARD, 5/8" EXT. GRADE FLYWD. SHITTING, ON EA. SIDE.
- 2'x12 RIM JOIST
- 2'x12 P.T. LEDGER BM. ATTACHED TO SOLID BLOCKING IN STUD WALL W/ #4 A325 A.B. @ 16" O.C. STAGGERED
- 2'x4 P.T. SILL PLATE W/ #6 GALV. A.B. W/ ASHER @ 32" O.C.
- 1" EXTERIOR FINISHING SYSTEM W/ DRYVIT COATING - PAINTED COLOR T.B.D.
- METAL WALL FLASHING W/ COUNTER FLASHING EXTEND MIN. 6" ABOVE F.F.
- BUILT UP RUBBER ROOF MEMBRANE W/ MIN 2" RIGID INSUL. SLOPED TO ROOF DRAIN. PROVIDE 2'x6 P.T. CURB PLATE
- ROOF PAVERS ON DRAINAGE SPACERS
- 4" CMU WALL W/ #4 REBAR @ 16" O.C. IN GROUTED CELLS EXTEND INTO EXIST. WALL MIN. 6" PROVIDE TRUSS TYPE WIRE TIES AT ALT. CRSNGS. - TYP. U.N.O.
- 2'x4 P.T. SILL PLATE W/ #6 GALV. A.B. W/ ASHER @ 32" O.C.
- T.O. MAS. WALL
- METAL WALL CAP FLASHING W/ COUNTER FLASHING CONTINUOUS W/ DRIP EDGE.
- 1" DECORATIVE METAL HANDRAIL ATTACHED TO MAS. WALL W/ #4 A325 A.B.
- T.O. ARCHITECTURAL DECORATIVE RAILING
- T.O. FIN. ROOF
- B.O. FIN. CEILING
- TJI 230 SERIES 1 1/2" X 11 1/8" JOIST @ 16" O.C.
- 1 HOUR 5/8" FIRE RATED GYP. BD TYP.
- OVERHEAD GARAGE DOOR BEYOND
- ENTRY DOOR BEYOND
- STAIR PROFILE
- EXISTING DECK STRUCTURE
- GRADE @ REAR YARD
- BHMP@ GRADE
- 12'-9"
- 11'-8"
- 9'-3"
- 7'-6"
- 2'-5"
- 2'-8"
- 3'
- 3'
- PROPERTY LINE



1313 WEST VIRGINIA AVE NE
WASHINGTON D.C.

NO. 018796

52.1

STRUCTURAL DETAILS

1 THRU-SECTION
SCALE: 3/4"=1'-0"

2 THRU-SECTION
SCALE: 3/4"=1'-0"

STRUCTURAL SECTION DETAILS
GARAGE ADDITION
1313 WEST VIRGINIA AVE NE
WASHINGTON D.C.

G.R.I.N. DESIGN GROUP INC.
gn81976@yahoo.com
(240) 355-3876
COPYRIGHT ©2021 G.R.I.N. INC.

1-6 MIN. OHD DIM.
GARAGE ENTRY OPENING
6'-8" MIN. DIM.
1" EXPANSION JOINT W/ EPOXY JOINT FILLER
4" CONCRETE SLAB W/ #6 -W2.OX2.O WWF- ON 4" CRUSHED GRAVEL, PROV. 6 MILL. POLY. VAPOR BARRIER AND (2) #4 REBAR
1X1 CONTROL JOINT
12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
BHMP@ GRADE
T.O. ARCHITECTURAL DECORATIVE RAILING
T.O. MAS. WALL
T.O. FIN. ROOF
B.O. FIN. CEILING
7'-6"
9'-3"
12'-9"
11'-6"
1'-6" MIN. OHD DIM.
OVERHEAD GARAGE DOOR ATTACHED TO SOLID 8" MAS. WALL AS PER MANUFACT. SPEC.
(2) A325 A.B. @ 16" O.C. STAGGERED INTO SOLID MAS. WALL.
EXISTING MAS. WALL TO REMAIN
8"x6" STEEL UNTEL LUH W/ MIN. 3" BRG. ON 1/2" GALV. STL. PLATE.
4" CMU WALL W/ #4 REBAR @ 16" O.C. IN GROUTED CELLS EXTEND INTO EXIST. WALL MIN. 6" PROVIDE TRUSS TYPE WIRE TIES AT ALT. CRSNG. - TYP. U.N.O.
METAL WALL CAP FLASHING W/ COUNTER FLASHING CONTINUOUS W/ DRIP EDGE.
1" DECORATIVE METAL HANDRAIL ATTACHED TO MAS. WALL W/ #0X4" A325 A.B.
1" EXTERIOR FINISHING SYSTEM W/ DRYVIT COATING - PAINTED COLOR T.B.D.
METAL WALL FLASHING W/ COUNTER FLASHING EXTEND MIN. 6" ABOVE F.F.
ROOF PAVERS ON DRAINAGE SPACERS
BUILT UP RUBBER ROOF MEMBRANE W/ MIN 2" RIGID INSUL. SLOPED TO ROOF DRAIN. PROVIDE 2X6 P.T. CURB PLATE
TJI 230 SERIES 1 1/2" X 11 1/8" JOIST @ 16" O.C.
(2) 1 1/2" X 11 1/8" LVL BEAM SIS W/ 16D NAILS @ 8" O.C. HORIZ. / 1" O.C. VERT.
1 HOUR 5/8" FIRE RATED GYP. BD TYP.
1" EXPANSION JOINT W/ EPOXY JOINT FILLER
4" CONCRETE SLAB W/ #6 -W2.OX2.O WWF- ON 4" CRUSHED GRAVEL, PROV. 6 MILL. POLY. VAPOR BARRIER AND (2) #4 REBAR
1X1 CONTROL JOINT
12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
BHMP@ GRADE
T.O. ARCHITECTURAL DECORATIVE RAILING
T.O. MAS. WALL
T.O. FIN. ROOF
B.O. FIN. CEILING
7'-6"
9'-3"
12'-9"
11'-6"
1'-6" MIN. OHD DIM.
OVERHEAD GARAGE DOOR ATTACHED TO SOLID 8" MAS. WALL AS PER MANUFACT. SPEC.
(2) A325 A.B. @ 16" O.C. STAGGERED INTO SOLID MAS. WALL.
EXISTING MAS. WALL TO REMAIN
8"x6" STEEL UNTEL LUH W/ MIN. 3" BRG. ON 1/2" GALV. STL. PLATE.
4" CMU WALL W/ #4 REBAR @ 16" O.C. IN GROUTED CELLS EXTEND INTO EXIST. WALL MIN. 6" PROVIDE TRUSS TYPE WIRE TIES AT ALT. CRSNG. - TYP. U.N.O.
METAL WALL CAP FLASHING W/ COUNTER FLASHING CONTINUOUS W/ DRIP EDGE.
1" DECORATIVE METAL HANDRAIL ATTACHED TO MAS. WALL W/ #0X4" A325 A.B.
1" EXTERIOR FINISHING SYSTEM W/ DRYVIT COATING - PAINTED COLOR T.B.D.
METAL WALL FLASHING W/ COUNTER FLASHING EXTEND MIN. 6" ABOVE F.F.
ROOF PAVERS ON DRAINAGE SPACERS
BUILT UP RUBBER ROOF MEMBRANE W/ MIN 2" RIGID INSUL. SLOPED TO ROOF DRAIN. PROVIDE 2X6 P.T. CURB PLATE
TJI 230 SERIES 1 1/2" X 11 1/8" JOIST @ 16" O.C.
(2) 1 1/2" X 11 1/8" LVL BEAM SIS W/ 16D NAILS @ 8" O.C. HORIZ. / 1" O.C. VERT.
1 HOUR 5/8" FIRE RATED GYP. BD TYP.
1" EXPANSION JOINT W/ EPOXY JOINT FILLER
4" CONCRETE SLAB W/ #6 -W2.OX2.O WWF- ON 4" CRUSHED GRAVEL, PROV. 6 MILL. POLY. VAPOR BARRIER AND (2) #4 REBAR
1X1 CONTROL JOINT
12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
BHMP@ GRADE
T.O. ARCHITECTURAL DECORATIVE RAILING
T.O. MAS. WALL
T.O. FIN. ROOF
B.O. FIN. CEILING
7'-6"
9'-3"
12'-9"
11'-6"
1'-6" MIN. OHD DIM.
OVERHEAD GARAGE DOOR ATTACHED TO SOLID 8" MAS. WALL AS PER MANUFACT. SPEC.
(2) A325 A.B. @ 16" O.C. STAGGERED INTO SOLID MAS. WALL.
EXISTING MAS. WALL TO REMAIN
8"x6" STEEL UNTEL LUH W/ MIN. 3" BRG. ON 1/2" GALV. STL. PLATE.
4" CMU WALL W/ #4 REBAR @ 16" O.C. IN GROUTED CELLS EXTEND INTO EXIST. WALL MIN. 6" PROVIDE TRUSS TYPE WIRE TIES AT ALT. CRSNG. - TYP. U.N.O.
METAL WALL CAP FLASHING W/ COUNTER FLASHING CONTINUOUS W/ DRIP EDGE.
1" DECORATIVE METAL HANDRAIL ATTACHED TO MAS. WALL W/ #0X4" A325 A.B.
1" EXTERIOR FINISHING SYSTEM W/ DRYVIT COATING - PAINTED COLOR T.B.D.
METAL WALL FLASHING W/ COUNTER FLASHING EXTEND MIN. 6" ABOVE F.F.
ROOF PAVERS ON DRAINAGE SPACERS
BUILT UP RUBBER ROOF MEMBRANE W/ MIN 2" RIGID INSUL. SLOPED TO ROOF DRAIN. PROVIDE 2X6 P.T. CURB PLATE
TJI 230 SERIES 1 1/2" X 11 1/8" JOIST @ 16" O.C.
(2) 1 1/2" X 11 1/8" LVL BEAM SIS W/ 16D NAILS @ 8" O.C. HORIZ. / 1" O.C. VERT.
1 HOUR 5/8" FIRE RATED GYP. BD TYP.
1" EXPANSION JOINT W/ EPOXY JOINT FILLER
4" CONCRETE SLAB W/ #6 -W2.OX2.O WWF- ON 4" CRUSHED GRAVEL, PROV. 6 MILL. POLY. VAPOR BARRIER AND (2) #4 REBAR
1X1 CONTROL JOINT
12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
BHMP@ GRADE
T.O. ARCHITECTURAL DECORATIVE RAILING
T.O. MAS. WALL
T.O. FIN. ROOF
B.O. FIN. CEILING
7'-6"
9'-3"
12'-9"
11'-6"
1'-6" MIN. OHD DIM.
OVERHEAD GARAGE DOOR ATTACHED TO SOLID 8" MAS. WALL AS PER MANUFACT. SPEC.
(2) A325 A.B. @ 16" O.C. STAGGERED INTO SOLID MAS. WALL.
EXISTING MAS. WALL TO REMAIN
8"x6" STEEL UNTEL LUH W/ MIN. 3" BRG. ON 1/2" GALV. STL. PLATE.
4" CMU WALL W/ #4 REBAR @ 16" O.C. IN GROUTED CELLS EXTEND INTO EXIST. WALL MIN. 6" PROVIDE TRUSS TYPE WIRE TIES AT ALT. CRSNG. - TYP. U.N.O.
METAL WALL CAP FLASHING W/ COUNTER FLASHING CONTINUOUS W/ DRIP EDGE.
1" DECORATIVE METAL HANDRAIL ATTACHED TO MAS. WALL W/ #0X4" A325 A.B.
1" EXTERIOR FINISHING SYSTEM W/ DRYVIT COATING - PAINTED COLOR T.B.D.
METAL WALL FLASHING W/ COUNTER FLASHING EXTEND MIN. 6" ABOVE F.F.
ROOF PAVERS ON DRAINAGE SPACERS
BUILT UP RUBBER ROOF MEMBRANE W/ MIN 2" RIGID INSUL. SLOPED TO ROOF DRAIN. PROVIDE 2X6 P.T. CURB PLATE
TJI 230 SERIES 1 1/2" X 11 1/8" JOIST @ 16" O.C.
(2) 1 1/2" X 11 1/8" LVL BEAM SIS W/ 16D NAILS @ 8" O.C. HORIZ. / 1" O.C. VERT.
1 HOUR 5/8" FIRE RATED GYP. BD TYP.
1" EXPANSION JOINT W/ EPOXY JOINT FILLER
4" CONCRETE SLAB W/ #6 -W2.OX2.O WWF- ON 4" CRUSHED GRAVEL, PROV. 6 MILL. POLY. VAPOR BARRIER AND (2) #4 REBAR
1X1 CONTROL JOINT
12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
BHMP@ GRADE
T.O. ARCHITECTURAL DECORATIVE RAILING
T.O. MAS. WALL
T.O. FIN. ROOF
B.O. FIN. CEILING
7'-6"
9'-3"
12'-9"
11'-6"
1'-6" MIN. OHD DIM.
OVERHEAD GARAGE DOOR ATTACHED TO SOLID 8" MAS. WALL AS PER MANUFACT. SPEC.
(2) A325 A.B. @ 16" O.C. STAGGERED INTO SOLID MAS. WALL.
EXISTING MAS. WALL TO REMAIN
8"x6" STEEL UNTEL LUH W/ MIN. 3" BRG. ON 1/2" GALV. STL. PLATE.
4" CMU WALL W/ #4 REBAR @ 16" O.C. IN GROUTED CELLS EXTEND INTO EXIST. WALL MIN. 6" PROVIDE TRUSS TYPE WIRE TIES AT ALT. CRSNG. - TYP. U.N.O.
METAL WALL CAP FLASHING W/ COUNTER FLASHING CONTINUOUS W/ DRIP EDGE.
1" DECORATIVE METAL HANDRAIL ATTACHED TO MAS. WALL W/ #0X4" A325 A.B.
1" EXTERIOR FINISHING SYSTEM W/ DRYVIT COATING - PAINTED COLOR T.B.D.
METAL WALL FLASHING W/ COUNTER FLASHING EXTEND MIN. 6" ABOVE F.F.
ROOF PAVERS ON DRAINAGE SPACERS
BUILT UP RUBBER ROOF MEMBRANE W/ MIN 2" RIGID INSUL. SLOPED TO ROOF DRAIN. PROVIDE 2X6 P.T. CURB PLATE
TJI 230 SERIES 1 1/2" X 11 1/8" JOIST @ 16" O.C.
(2) 1 1/2" X 11 1/8" LVL BEAM SIS W/ 16D NAILS @ 8" O.C. HORIZ. / 1" O.C. VERT.
1 HOUR 5/8" FIRE RATED GYP. BD TYP.
1" EXPANSION JOINT W/ EPOXY JOINT FILLER
4" CONCRETE SLAB W/ #6 -W2.OX2.O WWF- ON 4" CRUSHED GRAVEL, PROV. 6 MILL. POLY. VAPOR BARRIER AND (2) #4 REBAR
1X1 CONTROL JOINT
12"x6" 3,500 PSI CONCRETE GRADE BEAM W/ #4 REBAR @8" SPCNG. 4 EA. WAY. PROVIDE MIN. 3" OVERING - TYP. U.N.O.
BHMP@ GRADE
T.O. ARCHITECTURAL DECORATIVE RAILING
T.O. MAS. WALL
T.O. FIN. ROOF
B.O. FIN. CEILING
7'-6"
9'-3"
12'-9"
11'-6"
1'-6" MIN. OHD DIM.
OVERHEAD GARAGE DOOR ATTACHED TO SOLID 8" MAS. WALL AS PER MANUFACT. SPEC.
(2) A325 A.B. @ 16" O.C. STAGGERED INTO SOLID MAS. WALL.
EXISTING MAS. WALL TO REMAIN
8"x6" STEEL UNTEL LUH W/ MIN. 3" BRG. ON 1/2" GALV. STL. PLATE.
4" CMU WALL W/ #4 REBAR @ 16" O.C. IN GROUTED CELLS EXTEND INTO EXIST. WALL MIN. 6" PROVIDE TRUSS TYPE WIRE TIES AT ALT. CRSNG. - TYP. U.N.O.
METAL WALL CAP FLASHING W/ COUNTER FLASHING CONTINUOUS W/ DRIP EDGE.
1" DECORATIVE METAL HANDRAIL ATTACHED TO MAS. WALL W/ #0X4" A325 A.B.
1" EXTERIOR FINISHING SYSTEM W/ DRYVIT COATING - PAINTED COLOR T.B.D.
METAL WALL FLASHING W/ COUNTER FLASHING EXTEND MIN. 6" ABOVE F.F.
ROOF PAVERS ON DRAINAGE SPACERS
BUILT

STRUCTURAL SECTION DETAILS		GARAGE ADDITION		1313 WEST VIRGINIA AVE NE		WASHINGTON D.C.	
REVISIONS							
DATE:							
DRAWN BY:		D.T.S.					
JOB NO.		018796					
S2.2							